

KEY LEGEND

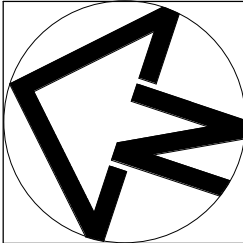
- FLOOR WASTE
- SMOKE ALARM
- DROP EDGE BEAM LINE
- STEP UP (86mm)
- ELECTRICAL METER BOX
- GAS METER BOX
- HOT WATER SYSTEM
- AIR CONDITIONING BOX
- RECYCLED WATER TAP/WATER TAP
- MECHANICAL VENTILATION
- WASTE STACK
- MAIN HOLE

1 SITE PLAN  
1 : 200

AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	SIGNED	DATE
S1	ISSUED FOR INFORMATION			2024/07/24
S2	ISSUED FOR INFORMATION			2025/03/19
S3	BASIX CERTIFICATE			2025/05/29

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ABN 24 667315279

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DRAWING TITLE  
SITE PLAN

DATE  
2025/06/17

PROJECT NUMBER

Project Number 1/

SCALE @ A3  
DRAWING No.

DRAWN  
MT  
ISSUE  
S3

PROJECT  
PROPOSED SECONDARY DWELLING  
- BUILDING CERTIFICATE

8 Mountview Ave,  
Chester Hill  
2162

MANUEL THOMAS

NSW DESIGN PRACTITIONER

Registration Number:

DEP0001663



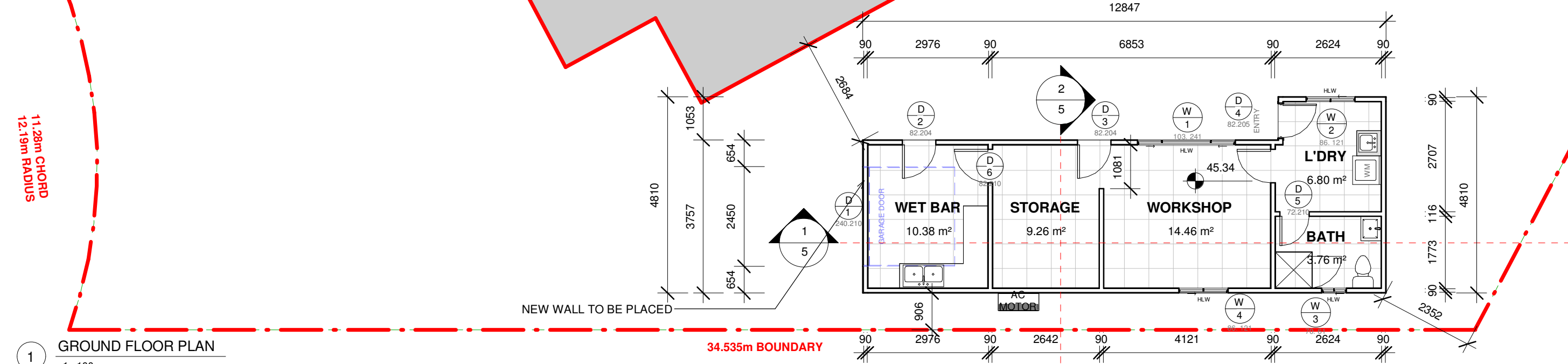
WALL LEGEND

- 120mm STUD WALL + BLUEBOARD RENDER FINISH
- 90mm STUD WALL
- 270mm DOUBLE BRICK WALL
- 190mm RETAINING WALL AS PER ENGINEER'S DETAIL
- 230mm BRICK WALL
- 250mm BRICK VENEER WALL

LEGEND

- (S) - Smoke Alarm Clause 9.5.4 of Housing Provisions 2022
- (MV) - Mechanical Ventilation Clause 10.6.2 of Housing Provisions 2022

TWO STOREY DWELLING REND.  
TILE ROOF  
NO.8  
47  
D.P 29501  
SITE AREA  
803m<sup>2</sup>  
(BY DEP. PLAN)  
806.4m<sup>2</sup> BY CALC.



1 GROUND FLOOR PLAN  
1 : 100

**AMENDMENTS**

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CLIENT  
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DRAWING TITLE  
**GROUND FLOOR PLAN**

DATE  
2025/06/17

PROJECT NUMBER  
**Project Number 2/**

PROJECT  
**PROPOSED SECONDARY DWELLING - BUILDING CERTIFICATE**

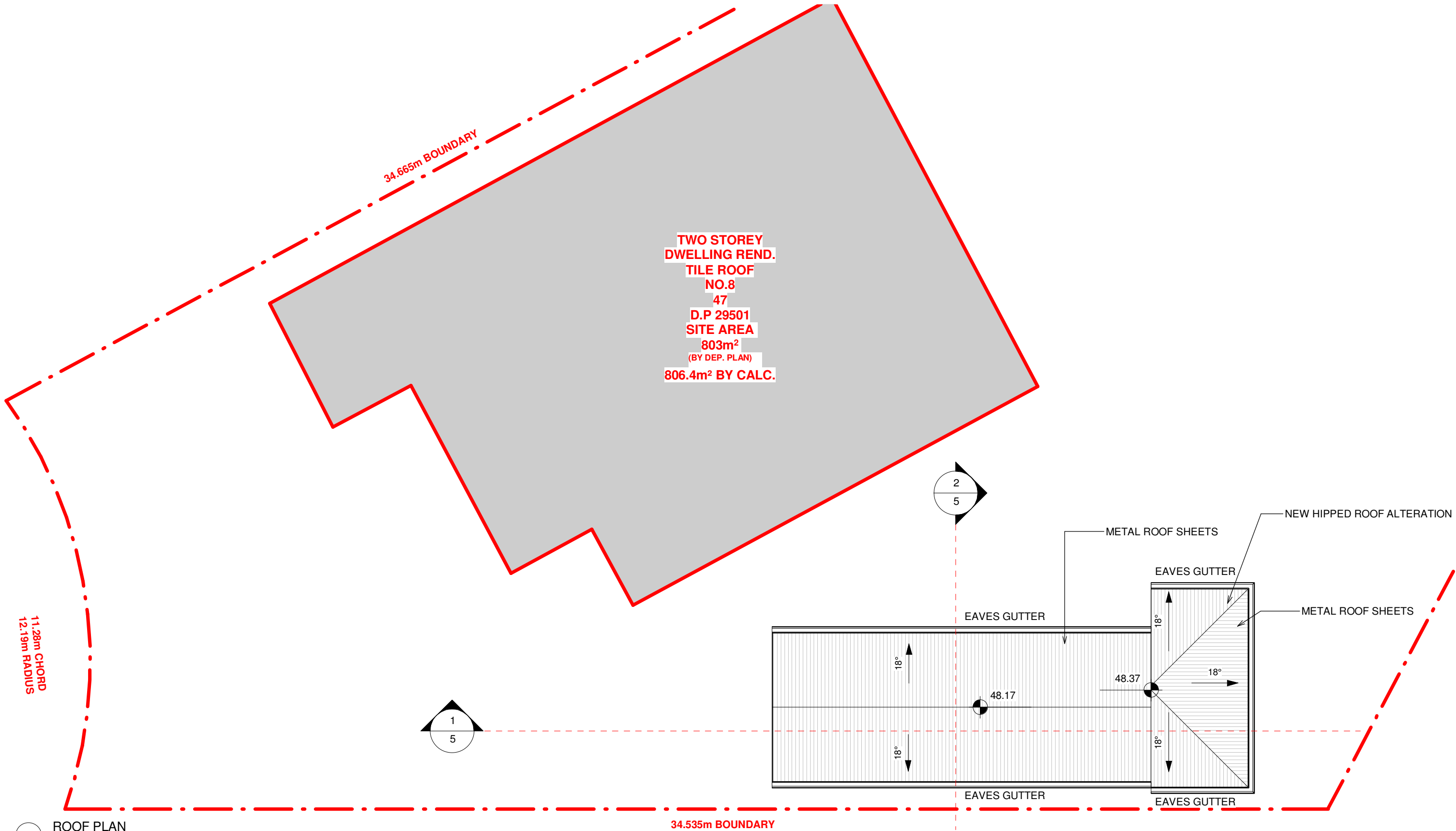
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Chester Hill  
2162**

**MANUEL THOMAS**  
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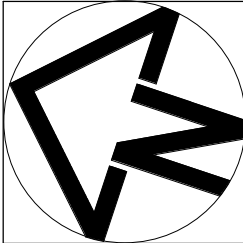


1 **ROOF PLAN**  
1 : 100

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DRAWING TITLE  
**ROOF PLAN**

DATE  
**2025/06/17**

PROJECT NUMBER

**Project Number 3/**

SCALE @ A3

DRAWING No.

DRAWN  
**MT**

ISSUE

**S3**

PROJECT  
**PROPOSED SECONDARY DWELLING  
- BUILDING CERTIFICATE**

**8 Mountview Ave,  
Chester Hill  
2162**

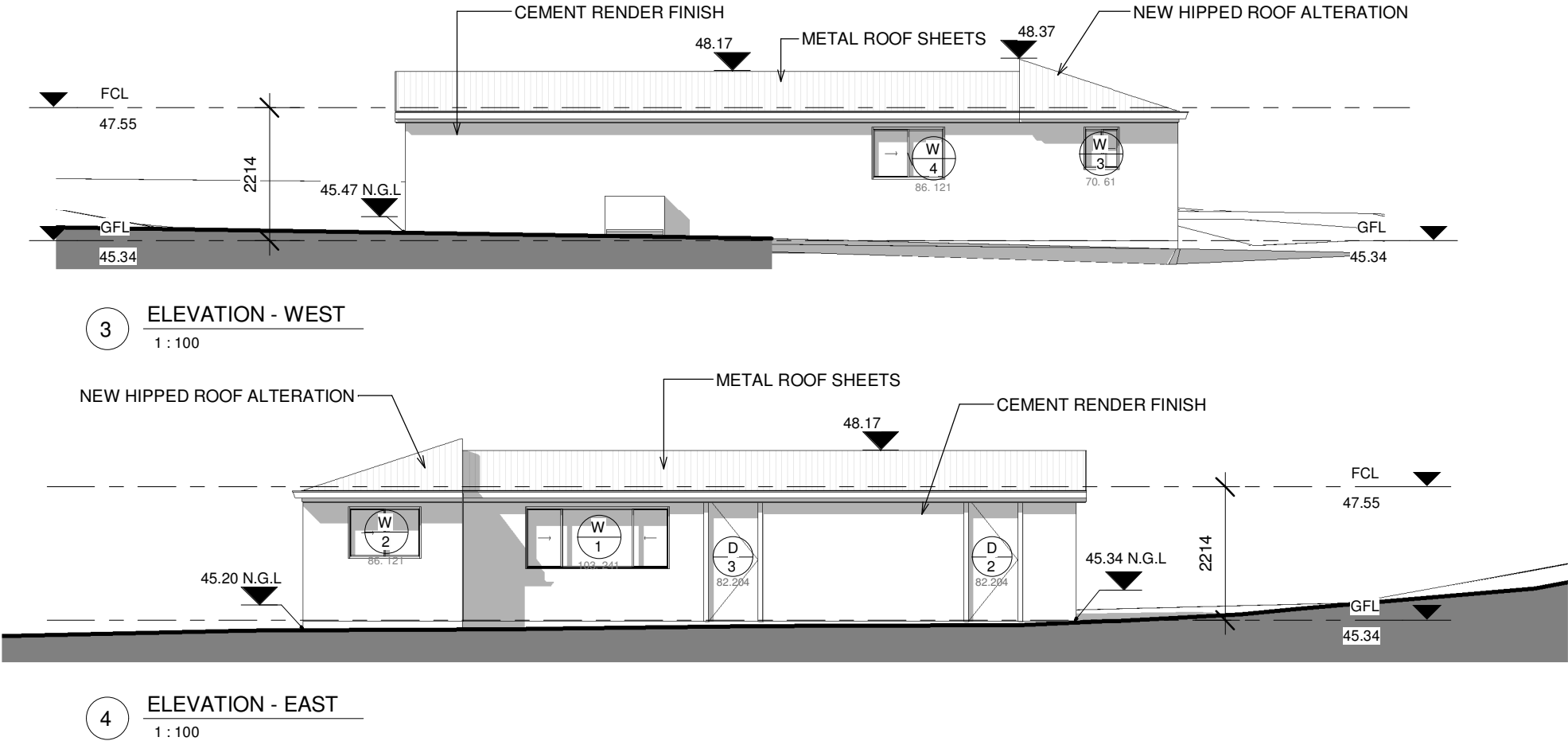
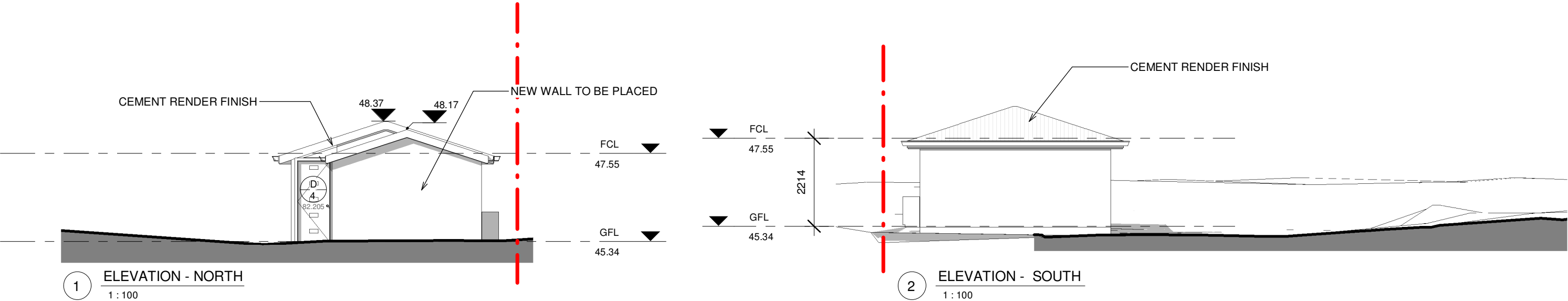
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ELEVATIONS

DATE  
2025/06/17

PROJECT NUMBER

Project Number 4/

SCALE @ A3  
DRAWING No.

DRAWN  
MT  
ISSUE  
S3

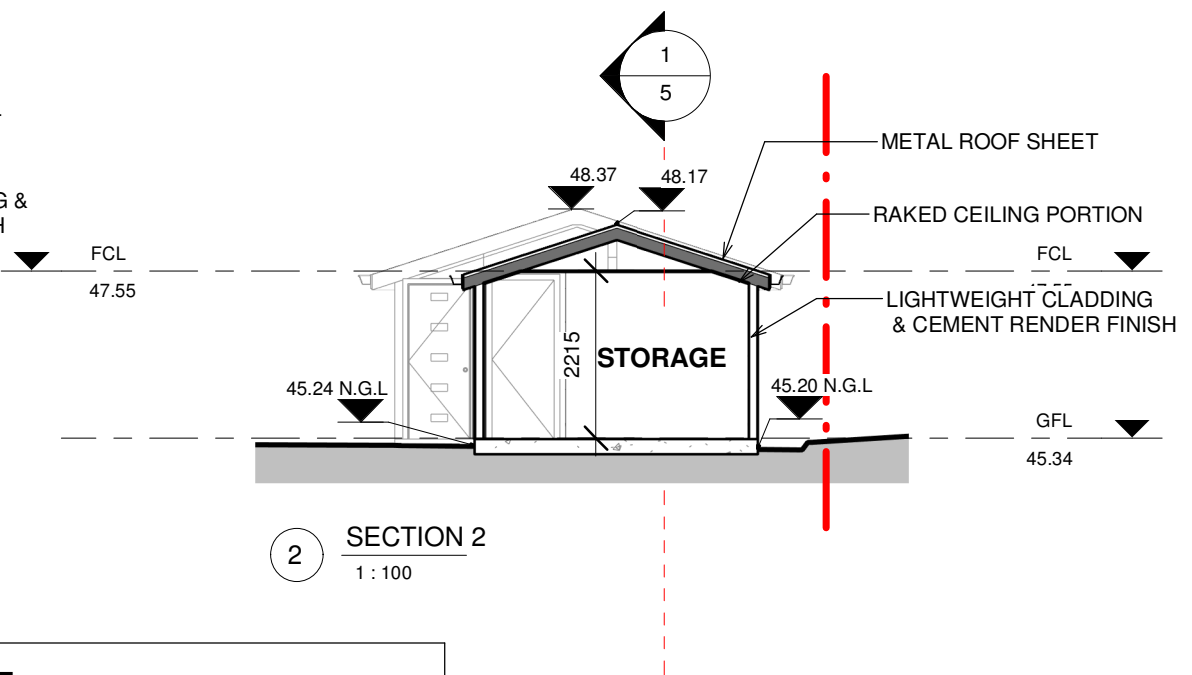
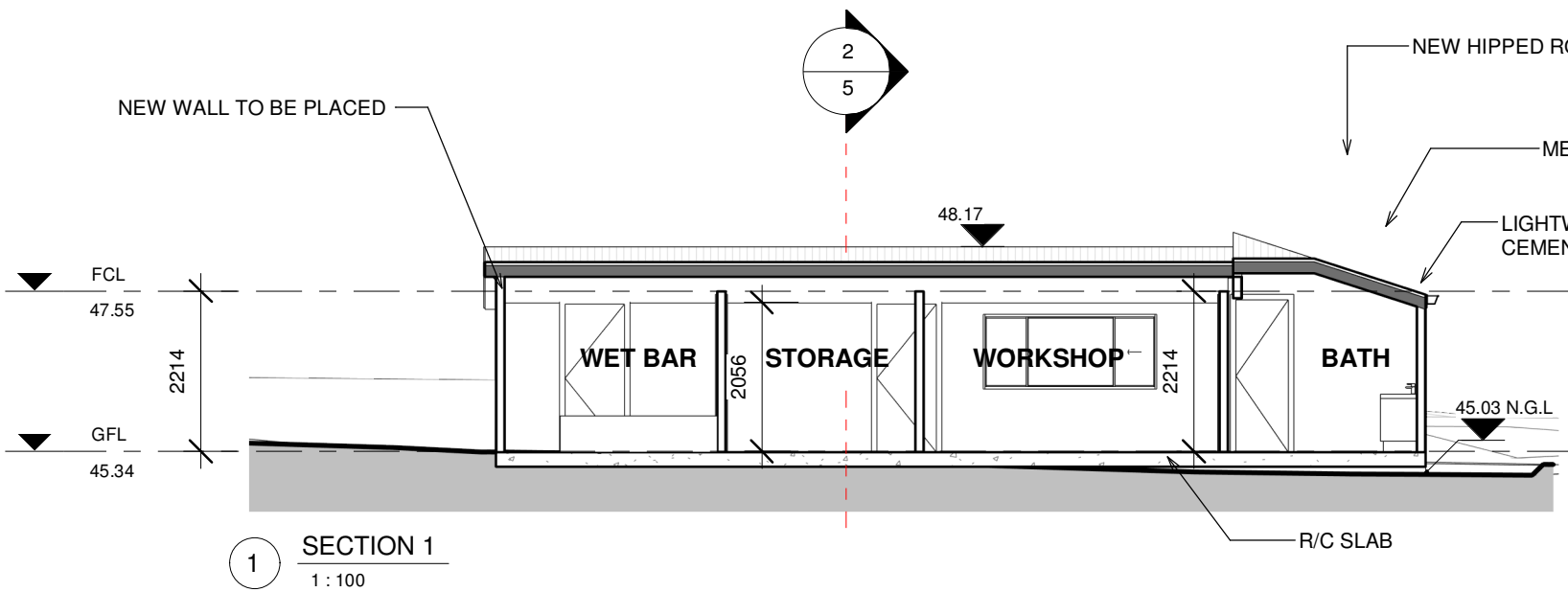
PROJECT  
PROPOSED SECONDARY DWELLING  
- BUILDING CERTIFICATE

8 Mountview Ave,  
Chester Hill  
2162

MANUEL THOMAS  
NSW DESIGN PRACTITIONER

Registration Number:  
DEP0001663





- NOTE:
- TO BE CHECKED AND CONFIRMED BY BUILDER ON SITE BEFORE PLACING ORDER
  - FALL PREVENTION FROM WINDOWS
  - WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF BCA CLAUSE 3.9.2.5
  - MECHANICAL VENTILATION TO BE INCLUDED IN THE LAUNDRY in compliance with Clause 3.8.5.2(c)

- 1-If Opening within 1700 mm above the floor;and climbable elements between 150 and 750 mm above the floor,Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen.
- 2-If opening between 865 and 1700 mm above the floor;and no climbable elements between 150 and 760 mm above the floor,Opening must be restricted to 125 mm ;or fitted with a removable robust screen
- 3-If opening between 865 of the floor;and climbable elements between 150 and 760 mm above the floor,Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen
- 4-If no opening within 1700 mm of the floor.No restrictions apply

DOORS SCHEDULE				
MARK	Height	Width	AREA	DESCRIPTION
1	2100	2400	5.04 m²	GARAGE - TILT PANEL DOOR
2	2040	820	1.67 m²	820 - TIMBER HINGED DOOR
3	2040	820	1.67 m²	820 - TIMBER HINGED DOOR
4	2046	820	1.68 m²	820 TIMBER HINGED DOOR - GLASS INFILL PANELS
5	2100	720	1.51 m²	720 - HOLLOW CORE DOOR
6	2100	820	1.72 m²	820 - TIMBER HINGED DOOR
7	2100	820	1.72 m²	820 - TIMBER HINGED DOOR

WINDOW SCHEDULE					
MARK	WINDOW SIZE	AREA	SILL HEIGHT	HEAD HEIGHT	Description
1	1030 x 2410	2.48 m²	870 mm	1900 mm	ALUMINIUM SLIDING HIGHLIGHT WINDOW
2	860 x 1210	1.04 m²	1040 mm	1900 mm	ALUMINIUM AWNING WINDOW
3	700 x 610	0.43 m²	1200 mm	1900 mm	ALUMINIUM SLIDING HIGHLIGHT WINDOW - FROSTED
4	860 x 1210	1.04 m²	1040 mm	1900 mm	ALUMINIUM SLIDING WINDOW

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DRAWING TITLE  
SECTION ,WINDOW & DOOR SCHEDULE

DATE 2025/06/17 SCALE @ A3 DRAWN MT

PROJECT NUMBER DRAWING No. ISSUE

Project Number 5/ S3

PROJECT  
PROPOSED SECONDARY DWELLING  
- BUILDING CERTIFICATE

8 Mountview Ave,  
Chester Hill  
2162

MANUEL THOMAS  
NSW DESIGN PRACTITIONER

Registration Number:  
DEP0001663





Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 61 square metres of the site.	✔	✔	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✔	
Alternative water			
Hot water recirculation or diversion system			
The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the development.		✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, conventional slab.	51	nil;not specified	nil	
external wall: framed (fibre cement sheet or boards); frame: timber - untreated softwood.	all external walls	3.00 (or 3.50 including construction);fibreglass batts or roll + reflective foil in the cavity	nil	wall colour: Light (solar absorptance < 0.48)
internal wall: plasterboard; frame: timber - untreated softwood.	27	none	nil	

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
ceiling and roof - raked ceiling / pitched or skillion roof, framed - metal roof, timber - untreated softwood.	56.31	ceiling: 5.7 (up); roof: foil/ sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof colour: medium (solar absorptance 0.48-0.59); 0.5 to ≤ 1.0% of ceiling area uninsulated

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✔	✔	✔
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .	✔	✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✔	✔	✔
• Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✔	✔	✔
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✔	✔	✔

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North-East facing					
W01	1030.00	2410.00	aluminium, single glazed (U-value: Undecided, SHGC: Undecided)	eave 300 mm, 300 mm above head of window or glazed door	>4 m high, 5-8 m away
W02	860.00	1210.00	aluminium, single glazed (U-value: Undecided, SHGC: Undecided)	eave 300 mm, 300 mm above head of window or glazed door	>4 m high, 5-8 m away
North-West facing					

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CLIENT

DRAWING TITLE

BASIX

DATE

2025/06/17

PROJECT NUMBER

Project Number

SCALE @ A3

DRAWING No.

6/

DRAWN

MT

ISSUE

S3

PROJECT

PROPOSED SECONDARY DWELLING  
- BUILDING CERTIFICATE

8 Mountview Ave,  
Chester Hill  
2162

MANUEL THOMAS

NSW DESIGN PRACTITIONER

Registration Number:

DEP0001663





Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W03	700.00	610.00	aluminium, single glazed (U-value: Undecided, SHGC: Undecided)	eave 300 mm, 300 mm above head of window or glazed door	not overshadowed
W04	860.00	1210.00	aluminium, single glazed (U-value: Undecided, SHGC: Undecided)	eave 300 mm, 300 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4.5 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4 Star (old label)		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4 Star (old label)		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4 Star (old label)		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4 Star (old label)		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✔	✔
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a		✔	✔
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔	✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔

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BASIX

DATE

2025/06/17

PROJECT NUMBER

Project Number

SCALE @ A3

DRAWING No.

7/

DRAWN

MT

ISSUE

S3

PROJECT  
PROPOSED SECONDARY DWELLING  
- BUILDING CERTIFICATE

8 Mountview Ave,  
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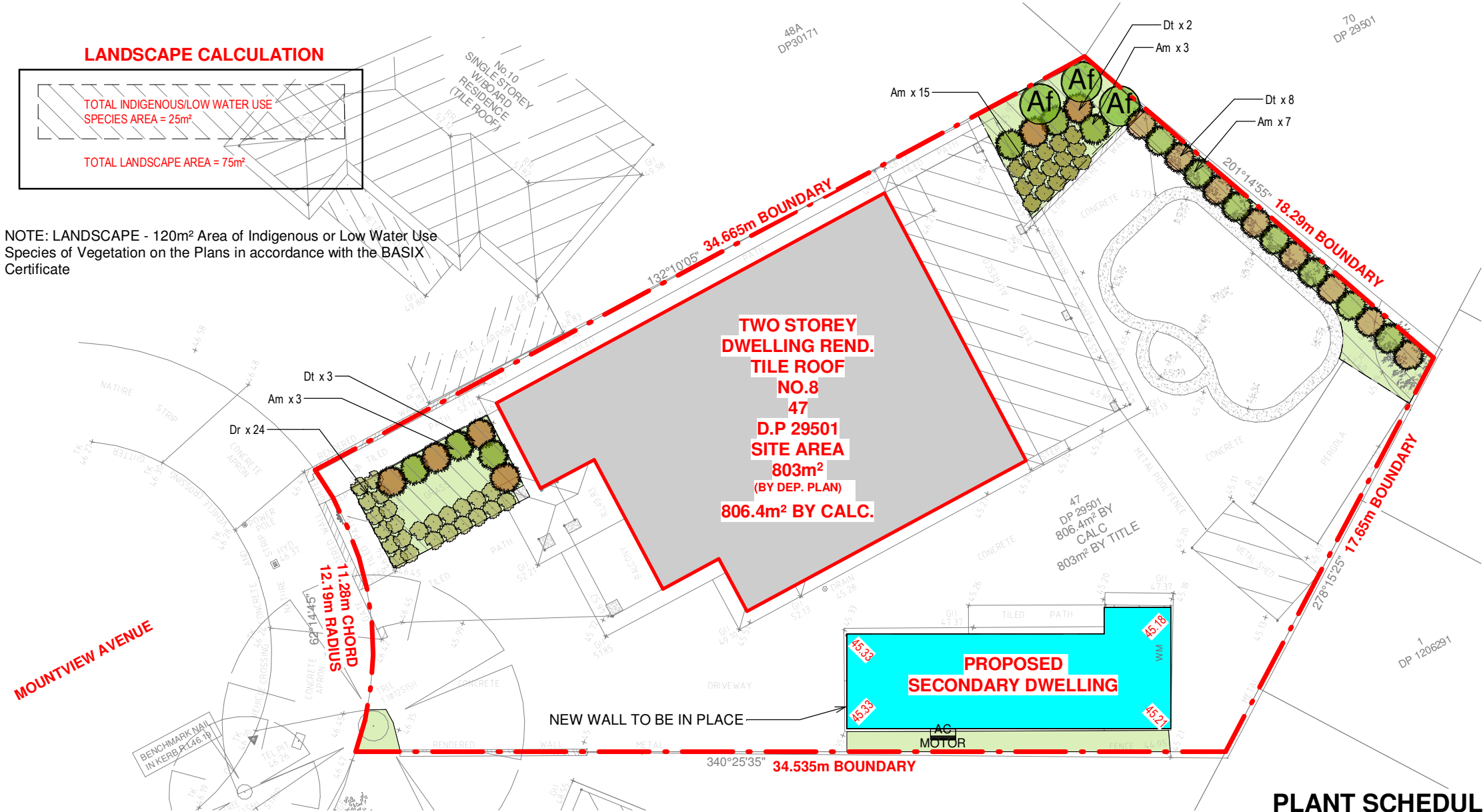
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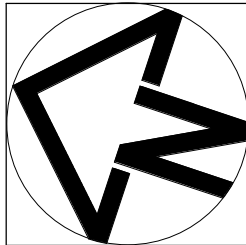


1 LANDSCAPE - PLAN  
1 : 200

AMENDMENTS

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DRAWING TITLE  
LANDSCAPE PLAN

DATE 2025/06/17 SCALE @ A3 DRAWN MT

PROJECT NUMBER DRAWING No. ISSUE

Project Number 8/ S3

PROJECT  
PROPOSED SECONDARY DWELLING  
- BUILDING CERTIFICATE

8 Mountview Ave,  
Chester Hill  
2162

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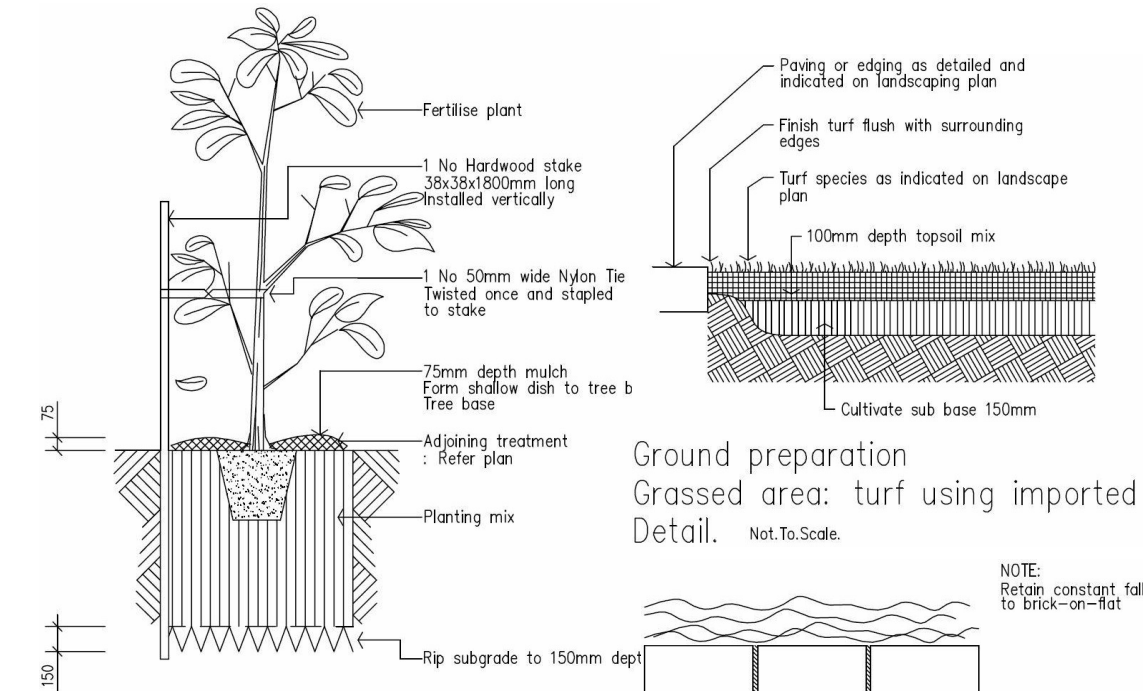
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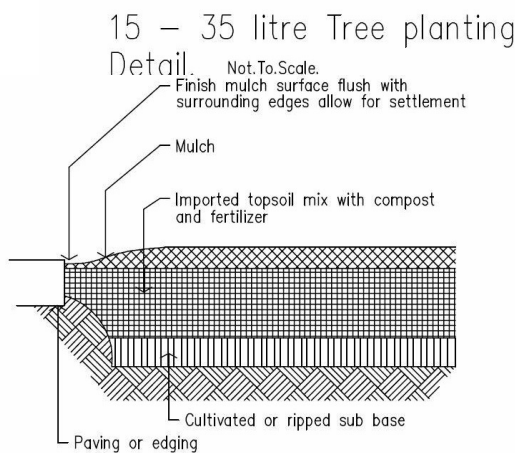
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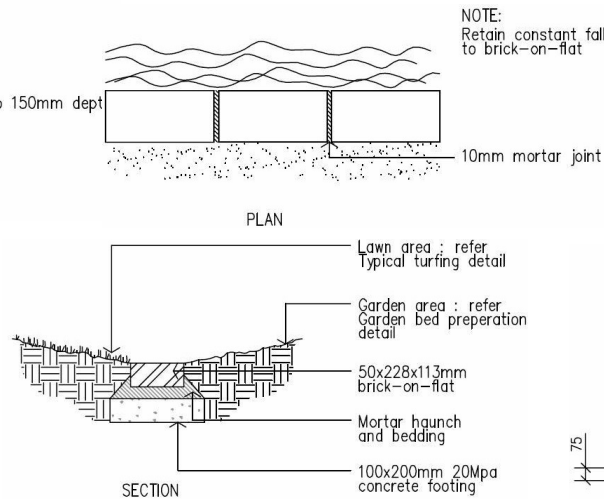




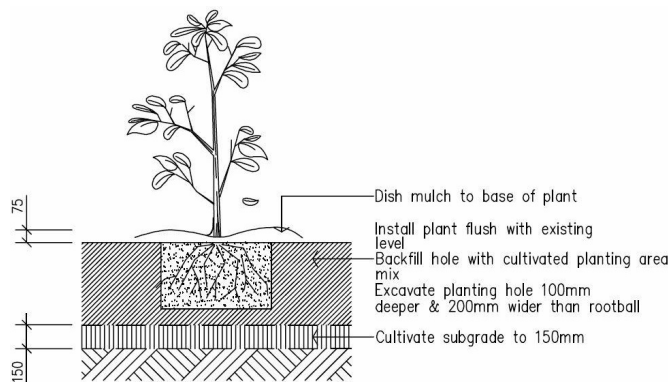
Ground preparation  
Grassed area: turf using imported topsoil  
Detail. Not.To.Scale.



Ground preparation  
Planting area using imported topsoil  
Detail. Not.To.Scale.

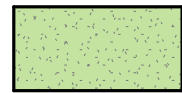


Brick garden edge  
Detail.

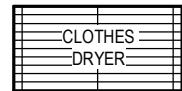


Planting in garden beds  
Detail. Not.To.Scale.

## LEGEND



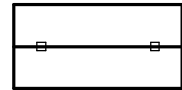
**TURF**  
EXCAVATE / GRADE ALL AREAS TO BE TURFED TO 120MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREE TO BE RETAINED. ENSURE THAT ALL SURFACE WATER RUNOFF IS DIRECTED TOWARDS THE INLET PITS, KERBS ETC.. AND AWAY FROM BUILDINGS. ENSURE THAT NO POOLING OR PONDING WILL OCCUR. RIP THE SUBGRADE TO 150MM. INSTALL 100MM DEPTH OF IMPORTED TOPSOIL. JUST PRIOR TO SPREADING THE TURF, SPREAD "SHIRLEY'S NO.17 LAWN FERTILIZER" OVER THE TOPSOIL AT THE RECOMMENDED RATE. LAY "KIKUYU" TURF ROLLS CLOSELY BUTTED. FILL ANY SMALL GAPS WITH TOPSOIL. WATER THOROUGHLY.



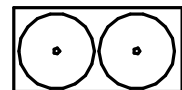
PARALINE



**BRICK GARDEN EDGING**  
LAY A SINGLE COARSE OF PAVING BRICKS IN A MORTAR HAUNCH (200MM WIDE AND 100MM DEEP). THE EDGES ARE TO BE LAID IN EVEN CURVES AND STRAIGHT LINE AS SHOWN ON THE PLAN. WHERE TIGHT CURVES ARE SHOWN USE HALF BRICKS TO SHOW A MORE EVEN CURVE. THE TOP OF THE EDGE IS TO FINISH FLUSH WITH THE ADJACENT TURF AND MULCH LEVELS.



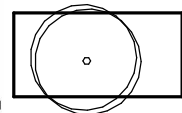
1800MM HIGH COLORBOND FENCE



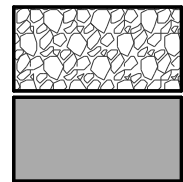
**PLANTING AREAS**  
ENSURE THAT THE MASS PLANTING AREAS HAVE BEEN EXCAVATED TO 300 BELOW FINISHED LEVELS. RIP TO A FURTHER DEPTH OF 150MM. SUPPLY AND INSTALL 300MM SOIL MIX. SOIL MIX TO COMPRISE OF ONE PART APPROVED COMPOST TO THREE PARTS TOPSOIL. TOPSOIL SHALL BE EITHER IMPORTED TOPSOIL OR STOCKPILED SITE TOPSOIL (IF SUITABLE IE: NO CLAY) INSTALL 75MM DEPTH OF SELECTED MULCH. EXISTING TREES TO BE REMOVED



EXISTING TREES TO BE RETAINED



**NOTE: MAINTENANCE:**  
ALL LANDSCAPE WORKS ARE TO BE MAINTAINED FOR A PERIOD OF THREE MONTHS FROM THE DATE OF PRACTICAL COMPLETION. THIS INCLUDES ALL WATERING, WEEDING, SPRAYING AND RE-MULCHING NECESSARY TO ACHIEVE VIGOROUS GROWTH. ANY DEFECTS WHICH ARISE DURING THIS PERIOD ARE TO BE RECTIFIED IMMEDIATELY. ANY PLANTS OR AREAS OF TURF WHICH FAIL DURING THIS PERIOD ARE TO BE REPLACED AT NO ADDITIONAL COST.



PEBBLES



CONCRETE

### AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	SIGNED	DATE

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DRAWING TITLE

LANDSCAPING DETAILS

DATE

2025/06/17

SCALE @ A3

DRAWN

MT

PROJECT NUMBER

DRAWING No.

ISSUE

**Project Number**

**9/**

PROJECT

**PROPOSED SECONDARY DWELLING  
- BUILDING CERTIFICATE**

**8 Mountview Ave,  
Chester Hill  
2162**

**MANUEL THOMAS**

**NSW DESIGN PRACTITIONER**

Registration Number:

**DEP0001663**

